



# EMPIRE PARK

@ISKANDARPUTERI

# The Premier

## Choice For Today's

# SMEs

One of the key characteristics of entrepreneurs is to have a keen eye for business opportunities. With an increasing number of Singaporean SMEs seeking to establish business in Iskandar Malaysia, Empire Park is set to be a hotspot of industrial activity.

# EMPIRE PARK

@ ISKANDAR PUTERI

The Most Strategic Base For Today's SMEs



**FREEHOLD**  
GATED AND GUARDED  
INDUSTRIAL PARK



**EMPIRE PARK**  
@ ISKANDAR PUTERI

- Accessibility via Major Highways.
- Connected to all PLUS Entrance & Exit (Exit 312, 311 & 309).
- Sandwiched between Matured Residential & Commercial Catchment.
- Supporting Industries to SiLC, Bio-XCell, NIP, NIP 2 & NCIP.



## ACCESSIBILITY

Empire Park is the most strategic base for your business operations. Located in Taman Nusantara, with unrivalled accessibility via major highways, you'll be able to get around with the greatest of ease via multiple access points including highway Exit 312, 311 & 309.

Empire Park offers convenience through Iskandar Puteri's surrounding world-class amenities including Kota Iskandar, SiLC's Bio-XCell, Legoland, Puteri Harbour, Port of Tanjung Pelepas (PTP) and Senai Airport.

Walking Distance to:

- Upcoming Workers Dormitory
- GP Prima Bus Terminal
  - One Stop Tourism Bus Centre
  - Bus Interchange with Causeway Link direct to S'pore
  - Express Bus terminal to North Malaysia & S'pore
  - Upcoming Hotel/ Shopping Centre

Unleash Your Business Potential With The

# RIGHT MOVE!



2  
MINUTES

GP Prima Bus Terminal



3  
MINUTES

SiLC Iskandar Puteri



4  
MINUTES

JB Parkway



5  
MINUTES

Upcoming High Speed Rail



10  
MINUTES

2nd Link Expressway



10  
MINUTES

Port of Tanjung Pelepas



12  
MINUTES

Kota Iskandar



20  
MINUTES

Senai Airport



25  
MINUTES

JB City Centre



50  
MINUTES

Johor Port

# A Conducive Environment For **WORK & LIFE**

Empire Park is part of Iskandar Puteri's "invest, work, live and play" environment that offers world-class infrastructure, good quality education, tourist hotspots and healthcare facilities. There's also a host of residential neighbourhoods with skilled workers.

## Residential Neighbourhoods

- Setia Eco Garden
- Nusa Bayu
- Taman Nusantara
- Taman Nusa Perintis 1,2&3
- East Ledang
- Bukit Indah
- Horizon Hills
- Nusa Sentral
- Nusa Indah
- Eco Botanic

## Recreation Hotspots

- Horizon Hills Golf & Country Club
- Poresia Golf Club & Resort
- Iskandar Puteri Sports Complex

## Tourist Hotspots

- AEON Bukit Indah
- Legoland
- Hello Kitty Town
- Puteri Harbour International Ferry Terminal
- Little Red Cube
- Johor Premium Outlets



## Residential

### Setia Eco Garden

- ▶ 948-acre gated & guarded community within a tranquil rainforest environment.
- ▶ Winner of multiple awards including Best Master Plan Development & FIABCI Prix d'Excellence Award in the Best Purpose-Built/Specialised Project category.

### Nusa Bayu

- ▶ 260-acre mixed development.
- ▶ 5,000 units comprising of 2 storey terrace homes, double-storey shop houses and apartments.

### Taman Nusantara

- ▶ 650-acre mixed development.
- ▶ 4297 units of low and medium cost residences.

### Taman Nusa Perintis 1,2&3

- ▶ Strategically located near Gelang Patah Bus Terminal.
- ▶ Populated with large population catchment, including skilled workers.

### Southern Industrial and Logistics Cluster (SiLC)

- ▶ Covering 1,300 acres of land, Iskandar Puteri's flagship industrial development project focuses on developing the value chains of integrated "clean & green" industrial clusters of three major areas – Advanced Technologies, Nutrition & Health Industries and Logistics.

### Bio-XCell (SiLC)

- ▶ World-Class Biotechnology Park.
- ▶ An environment conducive for the development and manufacturing of biologics, green chemicals and other solutions to heal, fuel and green the world.

### Iskandar Puteri Tech Park

- ▶ 519-acre integrated eco-friendly tech park with an estimated gross development value (GDV) of RM3.7 billion.
- ▶ Expected to host a business community of over 34,000 people.

### Port of Tanjung Pelepas

- ▶ The first Malaysian port to be IMS certified, PTP is the preferred logistics hub in Southeast Asia.

### Legoland

- ▶ 1st Legoland theme park in Asia and 6th in the world.
- ▶ More than 40 interactive rides, shows and attractions.

### EduCity & Iskandar Puteri Sports Complex

- ▶ 600-acre fully integrated education hub, comprises universities and institutes of higher education.
- ▶ The RM92.32 million sports complex, with a seating capacity of 14,000 houses sporting facilities of international standards.

### Puteri Harbour

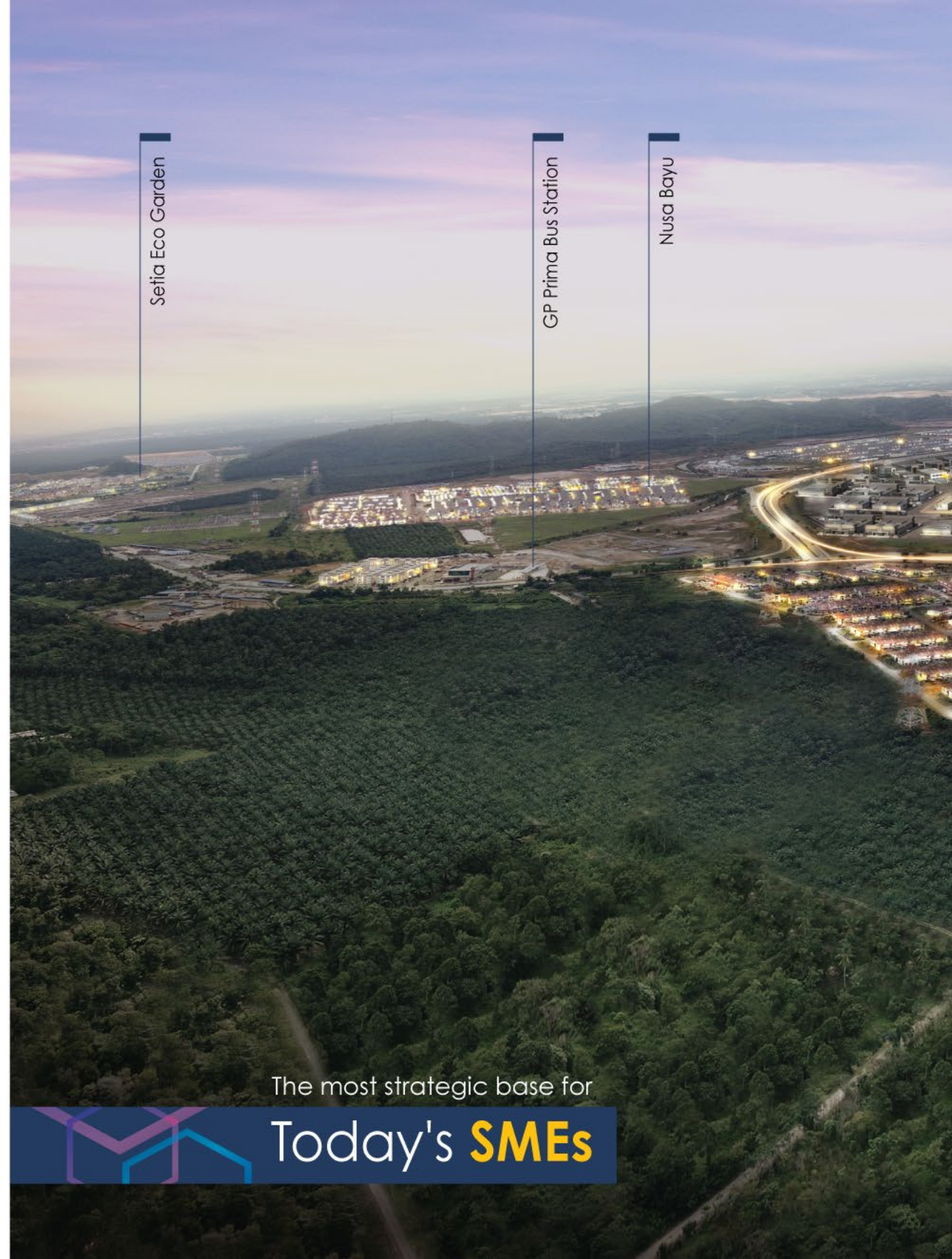
- ▶ Puteri Harbour is a prestigious waterfront address, along the Straits of Johor and is the first Marina in Malaysia to be recognized and awarded with 5 Gold Anchor Award by UK's The Yacht Harbour Association (TYHA).

### Horizon Hills

- ▶ Renowned as the premier golf club in the region, this US\$10 million 18-hole international championship course is also a leisure and entertainment centre.

## Industrial

## Commercial



The most strategic base for

Today's **SMEs**



Iskandar Puteri Square

Southern Industrial and Logistics Cluster (SILC)

Bio-XCell

Taman Nusantara

Puteri Harbour

Legoland

Taman Nusa Perintis  
1,2&3

EduCity & Iskandar Puteri Sports Complex

Iskandar Puteri Tech Park

Tuas CIQ

Port of Tanjung Pelepas

# EMPIRE PARK

@ ISKANDAR PUTERI

GPS COORDINATES : N 1°27'59" E 103°34'35"

## The Ultimate Security For Your Business

Empire Park takes into consideration all aspects of ensuring your business succeeds. With this in mind, we offer comprehensive security details that keep your business in safe hands.

Empire Park offers :

- Gated & Guarded
- 24-Hour Security & Surveillance
- Perimeter Fencing



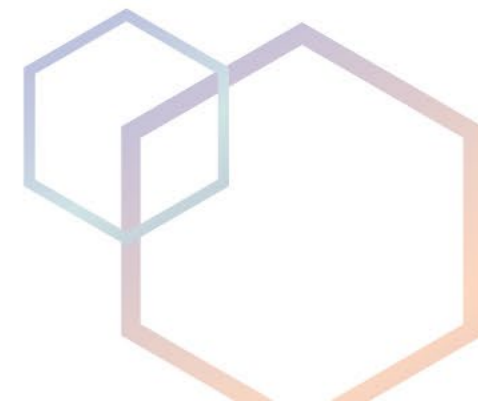
## EXCELLENT INFRASTRUCTURE



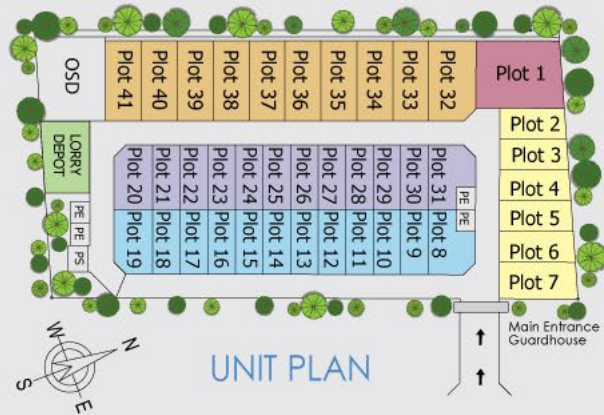
Depot Provision for Truck & Lorry Parking

Empire Park is a prime business address with intelligently designed factories within a highly conducive environment. Able to cater to a diverse range of SMEs, Empire Park fuses a contemporary facade with innovative infrastructure, giving you the best possible base for your business operations.

- Depot provision for truck & lorry parking.
- Wide driveway and excellent telecommunication networks.
- Water, electricity, high speed broadband - ready for connection.
- Half acre provision for truck & lorry parking.
- Ample/ excess power supply for upgrading.



# THE PERFECT PLATFORM FOR SMEs



*Lower plot ratio compared to surrounding matured industrial developments.*

LEGEND

- TYPE A SEMI DETACHED FACTORY
- TYPE A1 SEMI DETACHED FACTORY
- TYPE B SEMI DETACHED FACTORY
- TYPE C SEMI DETACHED FACTORY
- TYPE D DETACHED FACTORY



Type A & B  
9 Metres  
/  
Type C & D  
12 Metres

**Modern Architecture**

- Quality materials & finishes
- Spacious floor area @ General Office floor for added flexibility
- Tinted glass @ front facade

**5-in-1 Multi-Functional Design**

- Factory, Workshop, Showroom, Warehouse & Office
- Column free design for Production Area
- Provision of 3/5 tons of Overhead Crane Load
- Power supply up to 300 Amp
- Eave height up to 40 ft

EFFICIENT WORKING ENVIRONMENT - SECTION VIEW ( TYPE A )

SEMI  
DETACHED  
FACTORY  
TYPE A

FREEHOLD

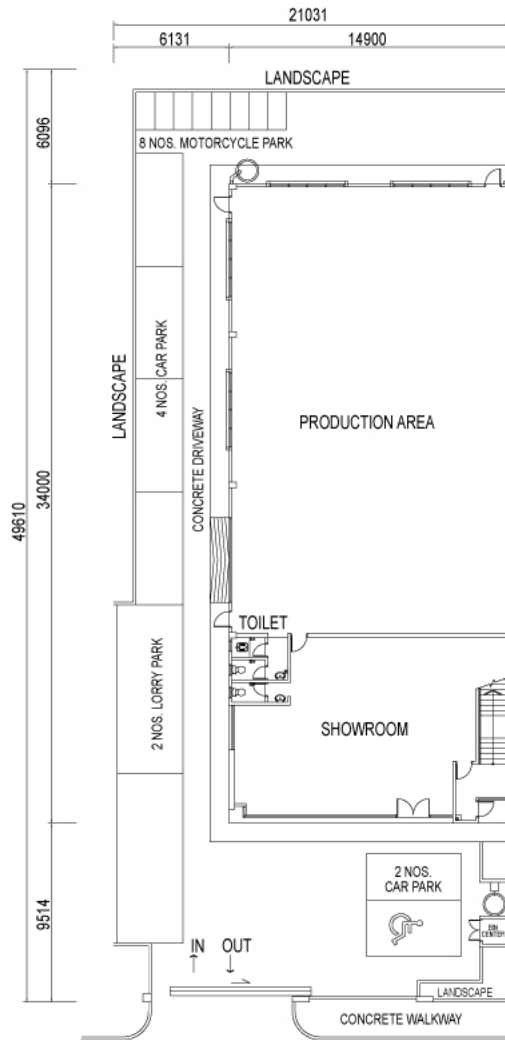
Land Area :  
Approx. 11,112 to 16,135 sq.ft

Built-up Area :  
Approx. 8,244 sq.ft

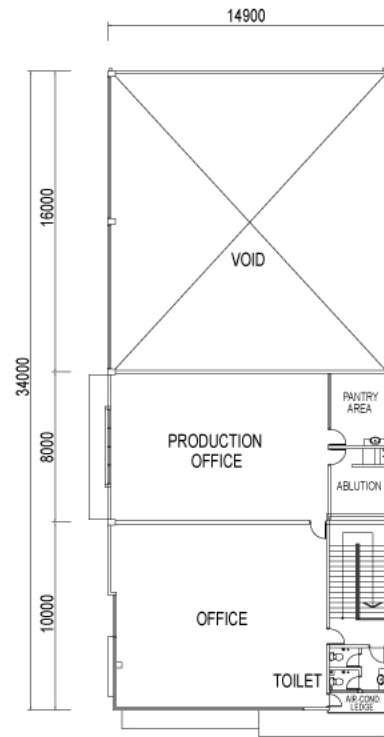
MODERN FACADE  
TO ENHANCE  
CORPORATE IMAGE



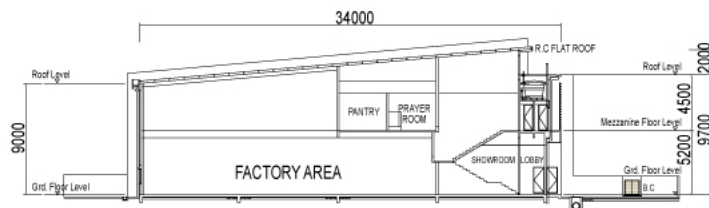
## SPECIFICATIONS - TYPE A & A1



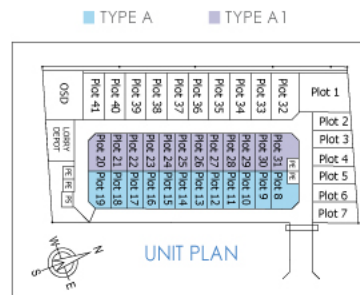
GROUND FLOOR PLAN



MEZZANINE PLAN



SECTION PLAN



UNIT PLAN

|  |   |  |
|--|---|--|
| • Factory Height                         | - 9 metres                                  |  |
| • Floor Design Loads                     | - Ground Production Area / Showroom Area    | : Approx 20KN/m <sup>2</sup>   |
|  | - 1st floor Office Area / Utility Rest Area | : Approx 2.5KN/m <sup>2</sup>  |
| • Roof System                            | - Roof Structure                            | : Structural steel / Steel trusses   |
|  | - Roof Sheets                               | : Metal roof with Insulation   |
| • Walls                                  | - Internal Wall                             | : Brick wall with plaster and painted with emulsion paint  |
|  | - External Wall                             | : Ceramic wall tiles to toilets and pantry<br>: Brick wall plaster and painted with weatherbond paint  |
| • Floors                                 | - <u>Ground Floor</u>                       |  |
|  | - Production Area                           | : Floor hardener finishes  |
|  | - Showroom Area                             | : Homogenous tiles   |
|  | - Staircase Finishes                        | : Homogenous tiles   |
|  | - Toilet Finishes                           | : Ceramic / Homogenous tiles   |
|  | - <u>1st Floor &amp; Utility Rest Area</u>  |  |
|  | - Office Area                               | : Cement render  |
| • Doors                                  | - External Doors                            | : Provision for motorised roller shutter<br>: Mild steel doors (Production area)<br>: Tinted glass door (Entrance area)<br>: Timber flush door (Office area)   |
|  | - Internal Doors                            |  |
| • Windows                                | - External Windows                          | : Aluminium frame windows (Production area)<br>: Anodised aluminium framed windows (Office area)   |
| • Ceiling                                | - Office Area                               | : False ceiling to 1st floor office area only  |
| • Infrastructure Works                   | - External Road                             | : Concrete driveway  |
|  | - Fencing                                   | : Front signage common brick wall c/w plaster and painted with weatherbond paint<br>: Perimeter - 1.8m height BSP mesh fabric fencing<br>: 7.5m wide sliding gate (Provision for motorised)<br>: Concealed pipe culvert drain<br>: Vitrified clay pipe culvert<br>: Bin center |
| • Sanitary and Water Supply Installation |   | : W.C & hand basin   |
| • Overhead Crane                         | - Structural Provision Only                 | : 3 tons crane for owner installation  |
| • Power Supply                           | - Type A                                    | : 150 Amp  |

### Mechanical & Electrical Specification

#### Electrical Installation

|                                  |            |
|----------------------------------|------------|
| MSB                              | - 200A nos |
| TNB Incoming Power               | - 150A nos |
| DB 30A                           | - 2 nos    |
| DB 60A                           | - 1 no     |
| DB 100A                          | - 1 no     |
| Lighting Point                   | - 65 nos   |
| Power Point (13A)                | - 29 nos   |
| Roller Shutter Power Point (15A) | - 1 no     |
| Wall Fan Point                   | - 1 no     |
| Air-Cond Power Point             | -          |
| Emergency Light                  | - 13 nos   |
| Keluar Sign                      | - 8 nos    |
| CCTV Point                       | - 5 nos    |
| 20A Isolator Point (for signage) | - 1 no     |

#### Telephone

|                             |         |
|-----------------------------|---------|
| High-Speed Broadband System | - 1 set |
|-----------------------------|---------|

#### Fire Protection Systems

|                            |       |
|----------------------------|-------|
| Portable Fire Extinguisher | - Yes |
| Hosereel System            | -     |
| Fire Alarm System          | -     |

\*\* All of the above specifications are subject to change to comply with Government Authorities / Engineers' and/ or Architects' Requirements.

SEMI  
DETACHED  
FACTORY  
TYPE B

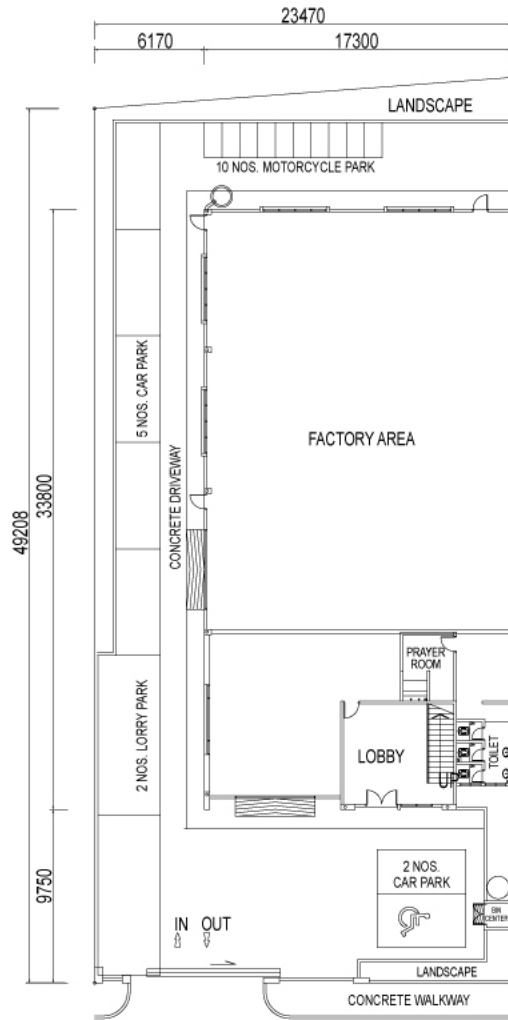
FREEHOLD

Land Area :  
Approx. 12,647 to 17,733 sq.ft

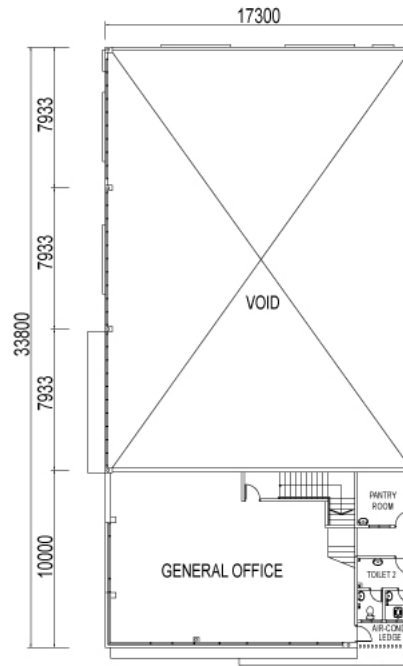
Built-up Area :  
Approx. 8,238 sq.ft

USER FRIENDLY  
FOR ALL TYPES OF  
INDUSTRIALISTS

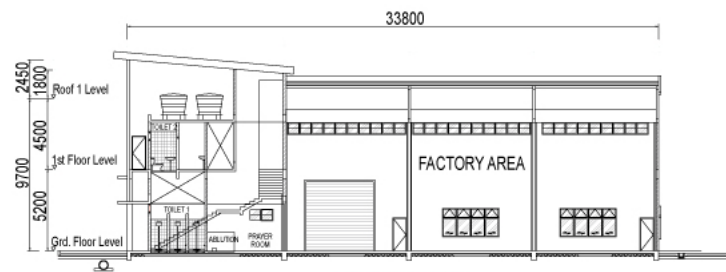




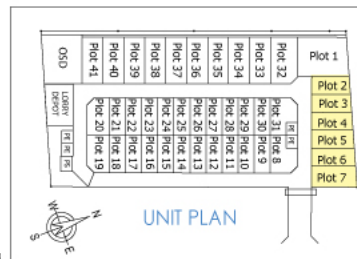
GROUND FLOOR



MEZZANINE FLOOR



SECTION PLAN



UNIT PLAN

## SPECIFICATIONS - TYPE B

- Factory Height : 9 metres
- Floor Design Loads :
  - Ground Production Area / Lobby Area : Approx 20KN/m2
  - 1st Floor General Office Area : Approx 2.5KN/m2
- Roof System :
  - Roof Structure : Structural steel / Steel trusses
  - Roof Sheets : Metal roof with Insulation
- Walls :
  - Internal Wall : Brick wall with plaster and painted with emulsion paint
  - External Wall : Ceramic wall tiles to toilets and pantry
  - : Brick wall plaster and painted with weatherbond paint
- Floors :
  - Ground Floor :
    - Production Area : Floor hardener finishes
    - Lobby Area : Homogenous tiles
    - Staircase Finishes : Homogenous tiles
    - Toilet Finishes : Ceramic / Homogenous tiles
  - 1st Floor Office Area : Cement render
- Doors :
  - External Doors : Provision for motorised roller shutter
  - : Mild steel doors (Production area)
  - : Tinted glass door (Entrance area)
  - Internal Doors : Timber flush door (Office area)
- Windows :
  - External Windows : Aluminium frame windows (Production area)
  - : Anodised aluminium framed windows (Office area)
- Ceiling :
  - Office Area : False ceiling to 1st floor office area only
- Infrastructure Works :
  - External Road : Concrete driveway
  - Fencing : Front signage common brick wall c/w plaster and painted with weatherbond paint
  - Gate : Perimeter - 1.8m height BSP mesh fabric fencing
  - Drainage System : 7.5m wide sliding gate (Provision for motorised)
  - Sewerage System : Concealed pipe culvert drain
  - Ancillary Building : Vitrified clay pipe culvert
  - : Bin center
- Sanitary and Water Supply Installation : W.C & hand basin
- Overhead Crane :
  - Structural Provision Only : 3 tons crane for owner installation
- Power Supply :
  - Type B : 150 Amp

### Mechanical & Electrical Specification

#### Electrical Installation

- MSB : 200A nos
- TNB Incoming Power : 150A nos
- DB 30A : 1 no
- DB 60A : 1 no
- DB 100A : 1 no
- Lighting Point : 59 nos
- Power Point (13A) : 21 nos
- Roller Shutter Power Point (15A) : 2 nos
- Wall Fan Point : 1 no
- Air-Cond Power Point : 2 nos
- Emergency Light : 12 nos
- Keluar' Sign : 6 nos
- CCTV Point : 5 nos
- 20A Isolator Point (for signage) : 1 no

#### Telephone

- High-Speed Broadband System : 1 set

#### Fire Protection Systems

- Portable Fire Extinguisher : Yes
- Hosereel System : -
- Fire Alarm System : -

\*\* All of the above specifications are subject to change to comply with Government Authorities / Engineers' and/ or Architects' Requirements.

SEMI  
DETACHED  
FACTORY  
TYPE C

FREEHOLD

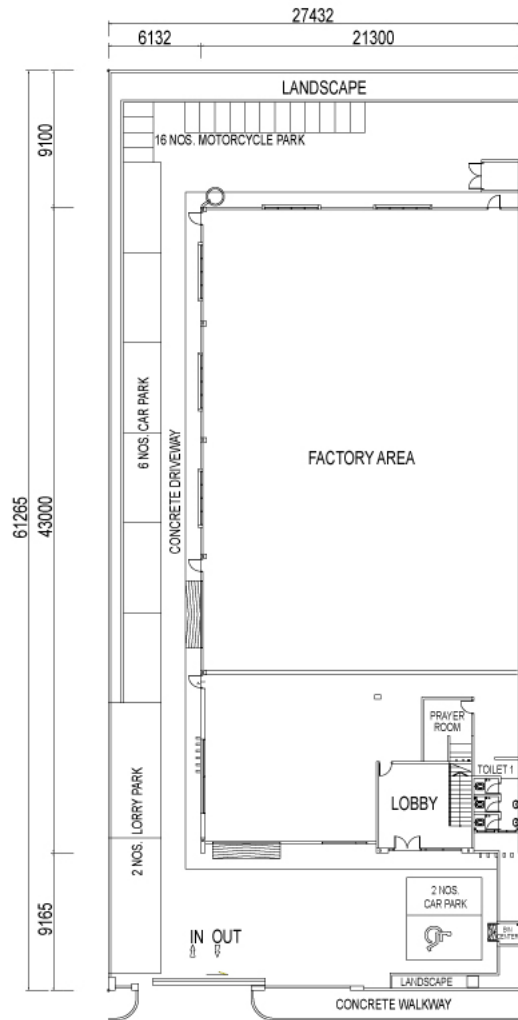
Land Area :  
Approx. 18,090 to 23,252 sq.ft

Built-up Area :  
Approx. 12,669 sq.ft

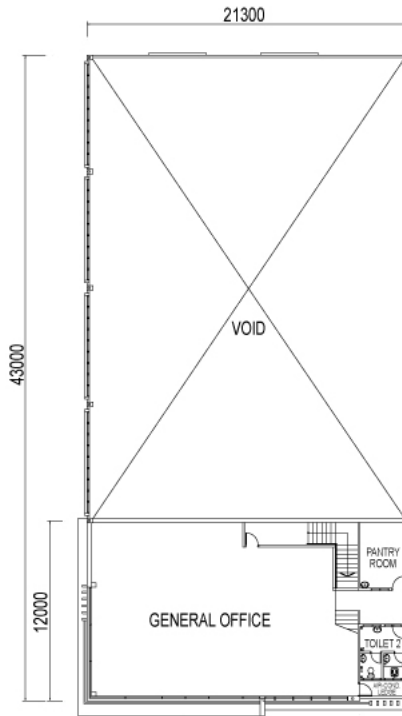
40 FEET HEIGHT  
MULTI-FUNCTIONAL SPACE  
TO MATCH YOUR BUSINESS



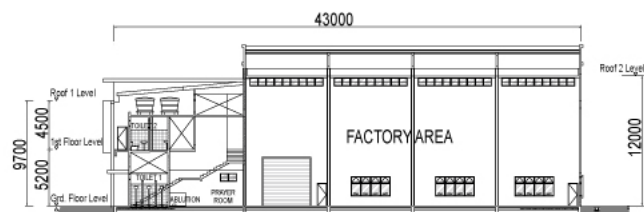




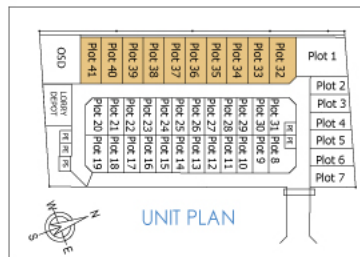
GROUND FLOOR PLAN



MEZZANINE FLOOR PLAN



SECTION PLAN



UNIT PLAN

## SPECIFICATIONS - TYPE C

- Factory Height : 12 metres
- Floor Design Loads : Ground Production Area / Lobby Area : Approx 20KN/m2  
: 1st Floor General Office Area : Approx 2.5KN/m2
- Roof System : Roof Structure : Structural steel / Steel trusses  
: Roof Sheets : Metal roof with insulation
- Walls : Internal Wall : Brick wall with plaster and painted with emulsion paint  
: External Wall : Ceramic wall tiles to toilets and pantry  
: Brick wall plaster and painted with weatherbond paint
- Floors : Ground Floor  
: Production Area : Floor hardener finishes  
: Lobby Area : Homogenous tiles  
: Staircase Finishes : Homogenous tiles  
: Toilet Finishes : Ceramic / Homogenous tiles  
1st Floor General Office Area : Cement render
- Doors : External Doors : Provision for motorised roller shutter  
: Mild steel doors (Production area)  
: Tinted glass door (Entrance area)  
: Internal Doors : Timber flush door (Office area)
- Windows : External Windows : Aluminium frame windows (Production area)  
: Anodised aluminium framed windows (Office area)
- Ceiling : Office Area : False ceiling to 1st floor office area only
- Infrastructure Works : External Road : Concrete driveway  
: Fencing : Front signage common brick wall c/w plaster and painted with weatherbond paint  
: Perimeter - 1.8m height BSP mesh fabric fencing  
: Gate : 7.5m wide sliding gate (Provision for motorised)  
: Drainage System : Concealed pipe culvert drain  
: Sewerage System : Vitrified clay pipe culvert  
: Ancillary Building : Bin center
- Sanitary and Water Supply Installation : W.C & hand basin
- Overhead Crane : Structural Provision Only : 5 tons crane for owner installation
- Power Supply : Type C : 200 Amp

### Mechanical & Electrical Specification

#### Electrical Installation

- MSB
- TNB Incoming Power : 300A nos
- DB 30A : 200A nos
- DB 60A : 1 no
- DB 100A : 1 no
- Lighting Point : 1 no
- Power Point (13A) : 65 nos
- Roller Shutter Power Point (15A) : 25 nos
- Wall Fan Point : 2 nos
- Air-Cond Power Point : 1 no
- Emergency Light : 2 nos
- Keluar' Sign : 12 nos
- CCTV Point : 6 nos
- 20A Isolator Point (for signage) : 6 nos
- 1 no

#### Telephone

- High-Speed Broadband System : 1 set

#### Fire Protection Systems

- Portable Fire Extinguisher : Yes
- Hosereel System : -
- Fire Alarm System : -

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DETACHED  
FACTORY  
TYPE D

FREEHOLD

Land Area :  
Approx. 36,362 sq.ft

Built-up Area :  
Approx. 16,990 sq.ft

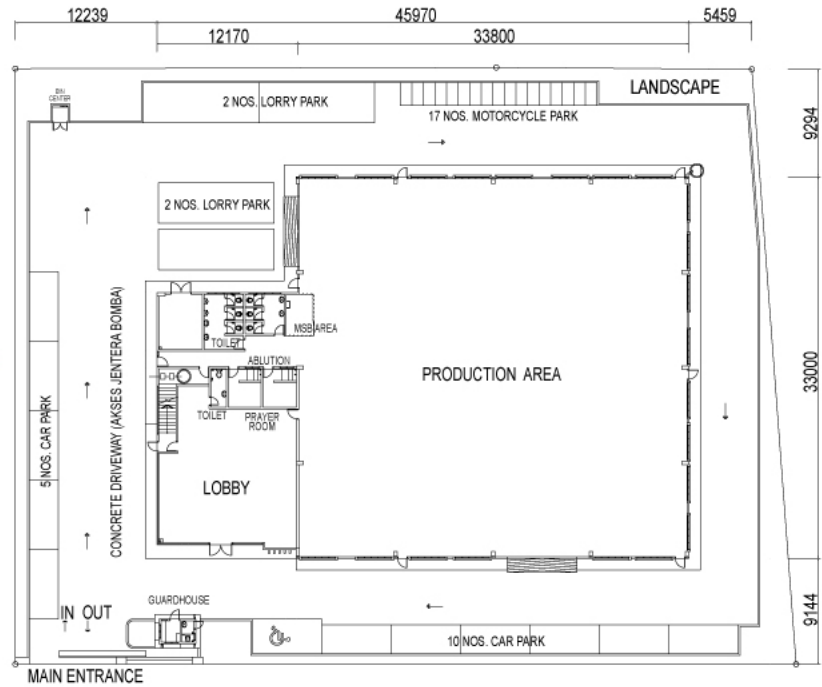
4-IN-1

CONCEPT SHOWROOM,  
WAREHOUSE,  
OFFICE & PRODUCTION

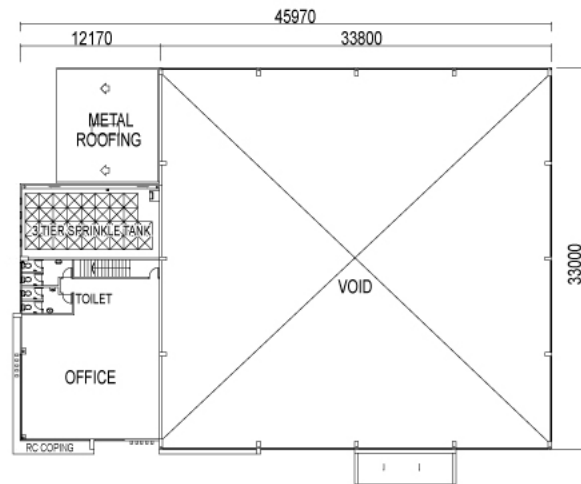


Artist's Impression Only

GROUND FLOOR PLAN



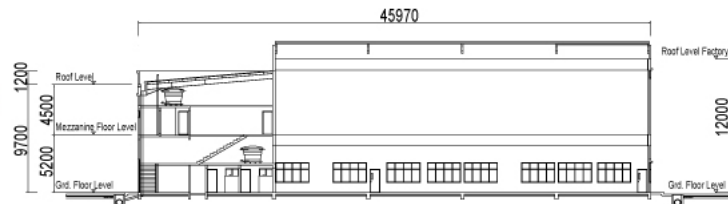
MEZZANINE FLOOR PLAN



UNIT PLAN



SECTION PLAN



## SPECIFICATIONS - TYPE D

- Factory Height - 12 metres
- Floor Design Loads - Ground Production Area / Lobby Area : Approx 20KN/m2  
- 1st Floor General Office Area : Approx 2.5KN/m2
- Roof System - Roof Structure : Structural steel / Steel trusses  
- Roof Sheets : Metal roof with Insulation
- Walls - Internal Wall : Brick wall with plaster and painted with emulsion paint  
- External Wall : Ceramic wall tiles to toilets and pantry  
: Brick wall plaster and painted with weatherbond paint
- Floors - Ground Floor  
- Production Area : Floor hardener finishes  
- Lobby Area : Homogenous tiles  
- Staircase Finishes : Homogenous tiles  
- Toilet Finishes : Ceramic / Homogenous tiles  
1st Floor Office : Cement render
- Doors - External Doors : Provision for motorised roller shutter  
: Mild steel doors (Production area)  
: Tinted glass door (Entrance area)  
- Internal Doors : Timber flush door (Office area)
- Windows - External Windows : Aluminium frame windows (Production area)  
: Anodised aluminium framed windows (Office area)
- Ceiling - Office Area : False ceiling to 1st floor office area only
- Infrastructure Works - External Road : Concrete driveway  
- Fencing : Front signage common brick wall c/w plaster and painted with weatherbond paint  
: Perimeter - 1.8m height BSP mesh fabric fencing  
: 7.5m wide sliding gate (Provision for motorised)  
- Gate : Concealed pipe culvert drain  
- Drainage System : Vitrified clay pipe culvert  
- Sewerage System : Bin center  
- Ancillary Building
- Sanitary and Water Supply Installation : W.C & hand basin
- Overhead Crane - Structural Provision Only : 5 tons crane for owner installation
- Power Supply - Type D : 300 Amp

### Mechanical & Electrical Specification

#### Electrical Installation

- MSB
- TNB Incoming Power - 400A nos
- DB 30A - 300A nos
- DB 60A - 1 no
- DB 100A - 2 nos
- Lighting Point - 1 no
- Power Point (13A) - 96 nos
- Roller Shutter Power Point (15A) - 32 nos
- Wall Fan Point - 2 nos
- Air-Cond Power Point - 2 nos
- Emergency Light - 1 no
- Keluar Sign - 10 nos
- CCTV Point - 11 nos
- 20A Isolator Point (for signage) - 10 nos
- 1 no

#### Telephone

- High-Speed Broadband System - 1 set

#### Fire Protection Systems

- Portable Fire Extinguisher - Yes
- Hosereel System - Yes
- Fire Alarm System - Yes

\*\* All of the above specifications are subject to change to comply with Government Authorities / Engineers' and/ or Architects' Requirements.

# VISIONARY

Developers With Trust & Integrity



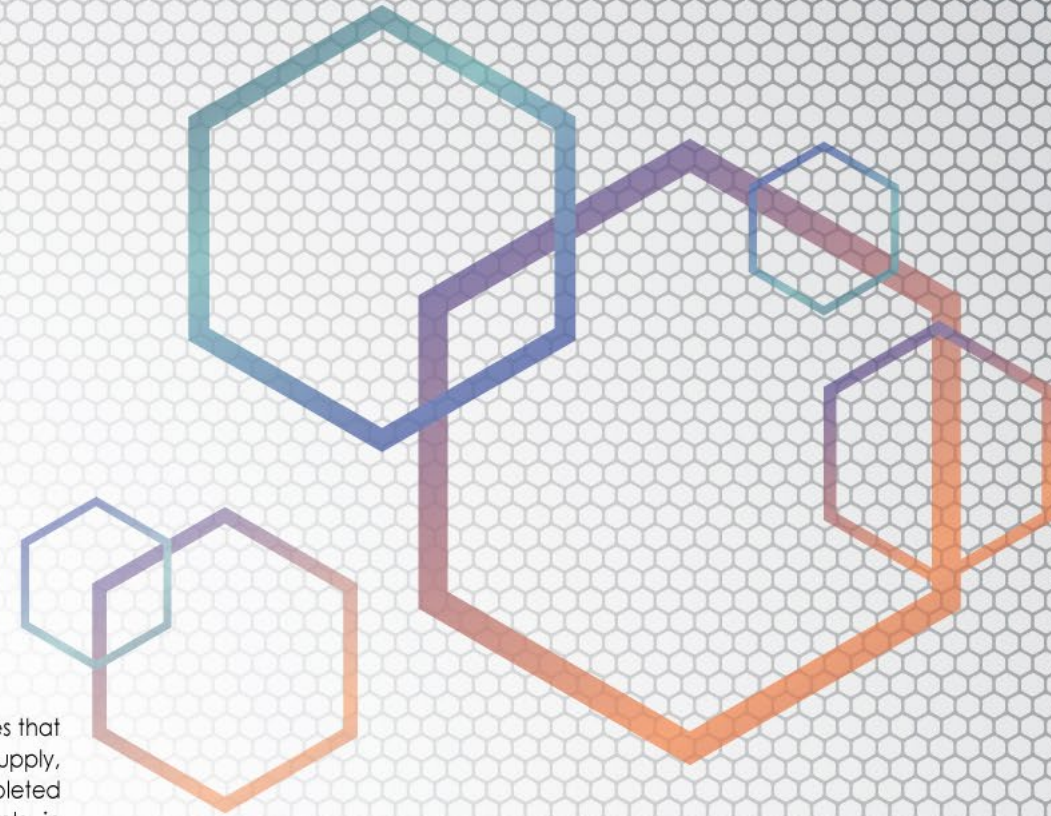
*LiangSiang*

LiangSiang group of companies offer diversified integrated business enterprises that include property development, oil palm plantation, building material supply, wholesale and retail. LiangSiang's impressive track record includes completed commercial and industrial developments, as well as mixed developments in Segamat and industrial buildings in Iskandar Puteri.

Both developers adhere to core values of providing superior value through products that will sustain long-term growth, while always maintaining the highest level of integrity in all dealings.



Ace Empire is a forward-thinking real estate developer with distinguished projects that include Commercial, Industrial Business Parks and Mixed Developments. As a fast-rising property developer, Ace Empire has successfully undertaken developments that include Sky Garden, Empire Waterfront, Empire Square and Tanjung Square. Ace Empire creates unique and sustainable development projects that align directly to the aspirations and the needs of the current market.





### MIXED DEVELOPMENT

#### Batu Pahat

- Service apartments in Batu Pahat
- Comprehensive facilities
- Boutique Hotel



### PROPERTY DEVELOPMENT DIVISION

#### Industrial - Design & Build

- Harve Engineering Pte Ltd @ Iskandar Puteri
- Metro Kempas Sdn Bhd



### COMMERCIAL DEVELOPMENT

#### Tanjung Square, Batu Pahat

- 12 units of modern 3 storey shop lots
- Strategic location, fronting main road
- Contemporary facade design for attractive corporate image
- Surrounded by large population



### COMMERCIAL DEVELOPMENT

#### Empire Square, Kulaijaya

- Modern facade
- Easy accessibility
- Dedicated design
- Wide walkway
- Ready-catchment



### RESIDENTIAL DEVELOPMENT

#### Labis Indah, Segamat

- Proven track record of mixed developments in Segamat
- All the projects have been well-received at the early stage of the construction



### OIL PALM PLANTATION

- Estate Rimbum 1,2&3 - Gua Musang
- Chansun Estate, Segamat



### BUILDING MATERIAL WHOLESALE & RETAIL DIVISION

- Builder Station - one-stop centre for quality building material from tiles, sanitary ware to home fittings to wholesale & retail market

**LIANGSIANG CAPITAL SDN BHD** (1062133D)

Wisma SP Setia, Level 4, Suite 04-23, Indah Walk 3, Jalan Indah 15, Taman Bukit Indah, 81200 Johor Bahru, Johor.

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Website : [www.empirepark.my](http://www.empirepark.my)

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